

XAVIER SALINAS, Vice President LUIS ALAMIA, Secretary MIGUEL "MIKE" FARIAS, Member LETTY FLORES, Member LETICIA "LETTY' GARCIA, Member DOMINGA "MINGA" VELA, Member

CARMEN GONZÁLEZ, President

Dr. Mario H. Salinas, Superintendent

ADDENDUM 1
CSP 24-38
BARRIENTES CTE ASBESTOS ABATEMENT
January 30, 2024

I. INSTRUCTIONS:

- A. The following changes, omissions or alterations to the specification and drawings shall be made insofar as the specifications and drawings are inconsistent with following, this addendum shall govern.
- B. Acknowledge receipt of this addendum by inserting its number and date of issue in the place provided for same in the proposal. This addendum forms a part of the Contract Documents.
- C. It is imperative that this addendum be inserted INTO set of specifications.

II. SEE ADDENDUM BELOW:

- 1. Refer to the attached preliminary floorplan and demolition plans for the renovation work to be done by others. Plans are for information only.
- 2. Asbestos Contractor shall provide and install plywood panels at exterior door transoms where existing asbestos panels are scheduled to be removed. Field verify plywood thickness.

Respectfully Submitted,

Amaro Tijerina

Director of Purchasing

(Signature of authorized officer)

Date

Company Name

Nondiscrimination Statement

Edinburg CISD does not discriminate on the basis of race, color, national origin, sex, disability or age in its programs or activities and provides equal access to the Boy Scouts and other designated youth groups. The following person has been designated to handle inquiries regarding the nondiscrimination policies: Title IX issues: Robert Vina, r.vina@ecisd.us ,Coordinator of Personnel/Legal Issues, ADA/504 issues: Sofia Hinojosa, sofia.hinojosa@ecisd.us, Director of Student & Social Services, 411 N. 8th Avenue, Edinburg, TX 78539, (956) 289-2300.

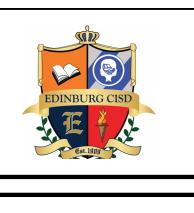
Edinburg CISD no discrimina por motivos de raza, color, origen nacional, sexo, discapacidad o edad en sus programas o actividades y brinda igualdad de acceso a los Boy Scouts y otros grupos juveniles designados. La siguiente persona ha sido designada para manejar consultas sobre las políticas de no discriminación Title IX issues: Robert Vina, r.vina@ecisd.us ,Coordinator of Personnel/Legal Issues, ADA/504 issues: Sofia Hinojosa, sofia.hinojosa@ecisd.us, Director of Student & Social Services, 411 N. 8th Avenue, Edinburg, TX 78539, (956) 289-2300.

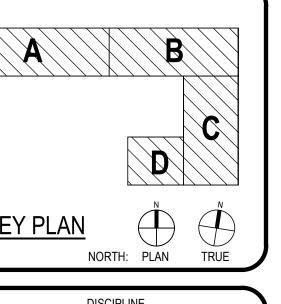
MCALLEN 6316 North 10th Street, Suite 1 McAllen, TX 78504 956-687-1330 P 956-687-1331 F TX Firm: F-1608 MELDEN & HUNT, INC.

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9

BUILDING





ECISD BARRIENTES 2023/07/13 100% DESIGN DEVELOPMENT **BUILDING NUMBER**

DEMOLITION FLOOR PLAN - COMPOSITE

DRAWN BY: Author Plot Stamp: 1/25/2024 1:24:55 PM

CHECKED BY: Checker

12 DEMOLITION FLOOR PLAN - AREA A

DEMOLITION FLOOR PLAN - AREA B

1/8" = 1'-0"

PLAN DEMOLITION LEGEND

INDICATES PARTITION TO BE DEMOLISHED INDICATES DOOR, FRAME AND HARDWARE TO BE DEMOLISHED, QUANITITIES TO BE VERIFIED IN FIELD

1. DEMOLITION PLANS INDICATE SOME OF THE SCOPE-OF-WORK INVOLVED FOR THE DEMOLITION PHASE OF THIS PROJECT. CONTRACTOR SHALL REVIEW ALL SHEETS FOR ADDITIONAL DEMOLITION SCOPE.

GENERAL DEMOLITION NOTES

2. CONTRACTOR SHALL VERIFY EXISTING SITE AND BUILDING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO DEMOLITION ACTIVITIES AND WORK. 3. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING. 4. CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER OF ANY POSSIBLE ASBESTOS CONTAINING MATERIALS DISCOVERED BEFORE PROCEEDING WITH WORK, PROTECT INTERIOR CONSTRUCTION TO

REMAIN DURING DEMOLITION AND CONSTRUCTION. 5. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCING WORK. 6. AFTER AWARD OF THE CONTRACT, CHANGE ORDER REQUESTS FOR ADDITIONAL MONEY WILL NOT BE APPROVED IF THE WORK COULD HAVE BEEN ANTICIPATED DURING A SITE VISIT BY THE CONTRACTOR. 7. CONTRACTOR SHALL NOT SCALE DRAWINGS.

8. CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY SHORING, TEMPORARY BRACING, AND OR TEMPORARY SUPPORTS AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING STRUCTURE TO REMAIN AND OR EXISTING BUILDING ELEMENTS TO REMAIN. 9. CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO DEMOLITION

ACTIVITIES AND WORK. 10. CONTRACTOR SHALL REMOVE TRASH AND DEBRIS REGULARLY AS NECESSARY TO ELIMINATED INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES. 11. CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS. 12. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DUST AND OR SOUND

AND OCCUPANTS (I.E. MINIMIZE EXCESSIVE AND PROLONGED NOISE LEVELS AND DUST). 13. CONTRACTOR SHALL REPAIR, REPLACE, OR PATCH EXISTING BUILDINGS, DRIVEWAYS, SIDEWALKS, CANOPIES, AND OR PARKING AREAS DAMAGED, MODIFIED, AND OR DISTURBED BY DEMOLITION WORK AT NO COST TO THE OWNER.

PARTITION BETWEEN CONSTRUCTION AREA AND AREAS NOT IN SCOPE AS NECESSARY. DEMOLITION

ACTIVITIES SHALL BE PERFORMED SO AS TO PRODUCE MINIMAL DISTURBANCE TO EXISTING FACILITY

14. ALL EXISTING EQUIPMENT THAT REMAINS SHALL BE PROTECTED DURING DEMOLITION AND OR CONSTRUCITON TO PREVENT DAMAGE. ANY DAMAGE TO REMAINING EXISTING EQUIPMENT SUSTAINED DURING DEMOLITION AND OR CONSTRUCITON SHALL BE EQUIVALENTLY REPLACED OR EQUIVALENTLY REPAIRED AT NO COST TO THE OWNER.

15. CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES TO PROTECT THE GENERAL PUBLIC AT ALL TIMES. AS NECESSARY AND AS REQURED BY AUTHORITIES HAVING JURISDICTION. 16. DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING

UTILITIES, AS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. 17. WHEN UTILITY SERVICES ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, PROVIDE BYPASS CONNECTIONS TO MAINTAIN CONTINUITY OF SERVICE BEFORE PROCEEDING WITH

18. CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVICING THE AREA INVOLVED WITH THIS DEMOLITION. THOSE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVICE ANY OF THE REMAINING BUILDING. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVICE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPLIT SO AS TO KILL ALL ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE

REMAINDER OF THE BUILDING. 19. CONTRACTOR SHALL RELOCATE UTILITIES AND EQUIPMENT AS REQUIRED TO ACCOMMODATE NEW HVAC, ELECTRICAL, PLUMBING, AND TECHNOLOGY REQUIREMENTS FOR NEW WORK. 20. PROTECT EXISTING SITE ELEMENTS AND EXISTING LANDSCAPING TO REMAIN. PROTECTION SHALL INCLUDE BUT NOT BE LIMITED TO EXISTING TREES AND OTHER EXISTING VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL WITHIN DRIP LINES.

21. CONTRACTOR SHALL REGRADE AND HYDROMULCH AREAS AFFECTED BY DEMOLITION. 22. OWNER HAS RIGHT OF FIRST REFUSAL OF ALL ITEMS REMOVED AS PART OF THE SOCPE OF WORK, WHETHER IDENTIFIED AS SALVAGE OR NOT.

23. NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. TO BE REMOVED THAT ARE DEEMED SALVAGEABLE. TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD AND CLEAN CONDITION.

24. ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED. 25. REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN. THE CONTRACTOR SHALL REPAIR THE DAMAGE TO MATCH EXISTING AND OR ADJACENT CONSTRUCTION AT NO COST TO THE OWNER.

26. MAINTAIN ANY AND ALL EXISTING FIRE-RATED ASSEMBLIES THAT ARE TO REMAIN, AND THEIR ASSOCIATED FIRE-RATINGS, INCLUDING BUT NOT LIMITED TO ALL ASSOCIATED EXISTING FIRE-RATED OPENINGS, ALL ASSOCIATED EXISTING FIRE-RATED PENETRATIONS, AND ALL ASSOCIATED EXISTING FIRE-RATED

FIRESTOPPING CONDITIONS. 27. WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, DETERMINE THE NATURE AND EXTENT OF THE CONFLICT

AND NOTIFY THE ARCHITECT IMMEDIATELY FOR RESOLUTION. 28. REMOVE, PATCH, AND REPAIR ALL ABANDONED ROOF PENETRATIONS RESULTING FROM WORK. 29. SAW-CUT AND REMOVE EXISTING FLOOR FINISHES AND FLOOR SLAB AS REQUIRED TO INSTALL NEW FIXTURES, ITEMS, AND OR DEVISES FOR ALL SCOPE-OF-WORK PERTAINING TO NEW MECHANICAL WORK, NEW PLUMBING UTILITIES, NEW PLUMBING WORK, NEW ELECTRICAL WORK, AND NEW TECHNOLOGY WORK. SPLICE NEW REINFORCING BARS DOWELLED INTO EXITISTING CONCRETE AND PROVIDE NEW VAPOR RETARDER AND NEW CONTINUOUS WATERSTOPS AT JOINT BETWEEN NEW CONCRETE FLOOR SLAB AND EXISTING CONCRETE

FLOOR SLAB. PATCH WITH NEW 3,500 PSI MINIMUM CONCRETE AND PREPARE FLOOR, INCLUDING NEW CONCRETE, TO RECEIVE NEW FLOOR FINISHES. COORDINATE WITH STRUCTURAL.

30. EXISTING WALLS (OR PORTIONS OF WALLS) TO BE REMOVED SHALL BE CUT FLUSH WHERE INTERSECTING WITH WALLS TO REMAIN. REMAINING WALLS TO BE PATCHED AND FINISHED SMOOTH. 31. NEW OPENING TO BE CUT IN EXISTING WALLS SHALL BE SAW-CUT AT LOCATIONS INDICATED TO THE HEIGHT AND WIDTH INDICATED. NEW LINTELS SHALL BE INSTALLED TO SUPPORT EXISTING WALL CONSTRUCTION

ABOVE AS INDICATED ON THE DRAWINGS, OR IF NOT INDICATED, AS REQUIRED FOR NEW WALL CONSTRUCTION

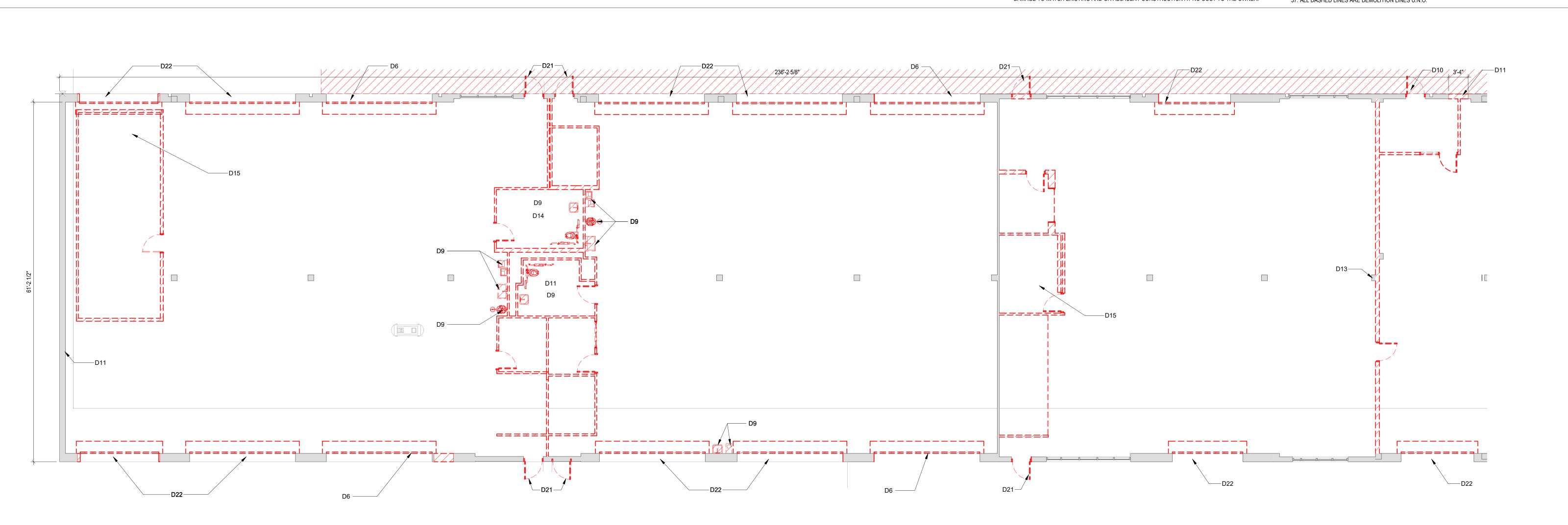
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NOTED OTHERWISE. 33. WHERE EXISTING INTERIOR WALLS ARE REPLACED OR REMOVED, REMOVE MEPT SYSTEMS BACK TO PANEL, OR MECHANICAL ROOM, OR FARTHEST POSSIBLE POINT WITHOUT DISTURBING EXISTING CONSTRUCTION. REMOVE EXISTING MECHANICAL EQUIPMENT, RELOCATE POWER PER MEPT DRAWINGS

34. REFER TO MEPT DRAWINGS FOR DEMOLITION OF MEPT SYSTEMS. IDENTIFY WORK REQUIRED BY THIS CONTRACTOR WHICH MAY AFFECT DEMOLITION AND OR REPAIRS OF ARCHITECTURAL ELEMENTS. COORDINATE WITH RELATED SUBCONTRACTORS THE EXTENT OF ALL DEMOLITION WORK. 35. PATCH FLOORS, WALLS CEILINGS WHICH REMAIN AT LOCATIONS WHERE PIPES, CONDUITS, ETC. ARE REMOVED

AS REQUIRED TO MATCH EXISTING CONDITIONS OR TO RECEIVE NEW FINISHES. 36. WHERE EXISTING FINISH FLOOR IS REMOVED. PREPARE FLOOR SURFACE TO RECEIVE NEW FLOORING. 37. ALL DASHED LINES ARE DEMOLITION LINES U.N.O.



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ECISD BARRIENTES 2023/07/13 **100% DESIGN DEVELOPMENT BUILDING NUMBER ENLARGED DEMOLITION PLAN -**

NORTH: PLAN TRUE

MCALLEN

6316 North 10th Street, Suite 1

McAllen, TX 78504

956-687-1330 P

956-687-1331 F

TX Firm: F-1608

MELDEN & HUNT, INC.

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BUILDING

AREA A & B

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 - PER STRUCTURAL DRAWINGS. COORDINATE LOCATIONS OF ALL NEW OPENINGS IN EXISTING WALLS AND PARTITIONS WITH ARCHITECTURAL PLANS. 32. WHERE EXISTING WALL OPENINGS ARE TO BE NEWLY CLOSED-OFF, REMOVE ANY EXISTING OPENING FRAME AND PATCH AND REPAIR EXISTING WALL TO MATCH EXISTING ADJACENT MATERIALS AND FINISHES, UNLESS
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 - REMOVE EXISTING MECHANICAL EQUIPMENT, RELOCATE POWER PER MEPT DRAWINGS 34. REFER TO MEPT DRAWINGS FOR DEMOLITION OF MEPT SYSTEMS. IDENTIFY WORK REQUIRED BY THIS CONTRACTOR WHICH MAY AFFECT DEMOLITION AND OR REPAIRS OF ARCHITECTURAL ELEMENTS. COORDINATE WITH RELATED SUBCONTRACTORS THE EXTENT OF ALL DEMOLITION WORK.
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DAMAGE TO MATCH EXISTING AND OR ADJACENT CONSTRUCTION AT NO COST TO THE OWNER. 37. ALL DASHED LINES ARE DEMOLITION LINES U.N.O.

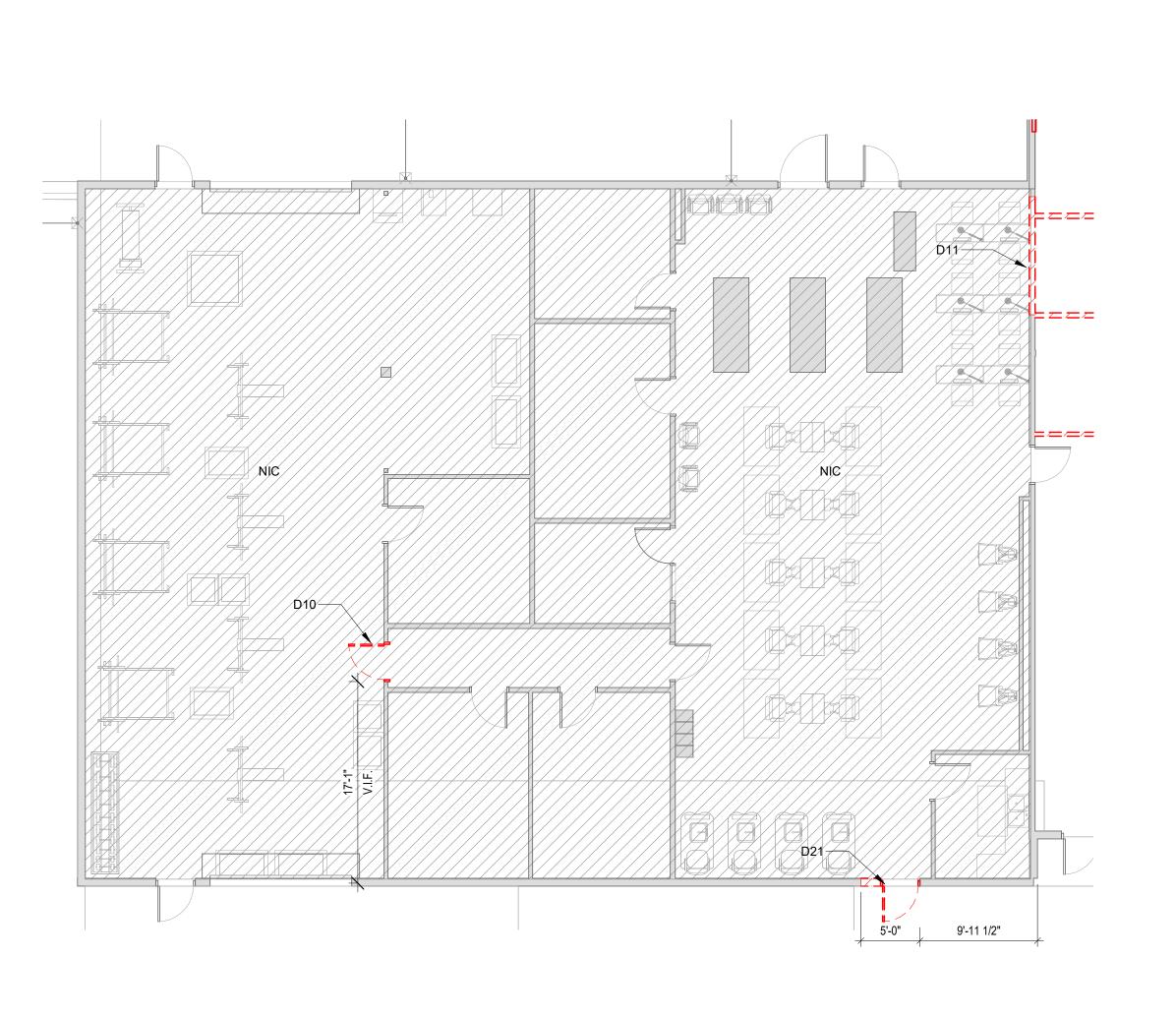
PLAN DEMOLITION LEGEND

VERIFIED IN FIELD

INDICATES PARTITION TO BE DEMOLISHED

INDICATES DOOR, FRAME AND HARDWARE TO BE DEMOLISHED, QUANITITIES TO BE

KEYNOTE LEGEND			
NUMBER	DESCRIPTION		
D6	REMOVE EXISTING OVERHEAD DOOR AND PATCH EXTERIOR WALL. REFER TO NEW CONSTRUCTION.		
D10	DOOR, FRAME AND HARDWARE TO BE DEMOLISHED, QUANTITIES TO BE VERIFIED IN FIELD. PATCH WALL TO MATCH EXISTING CONDITIONS, REFER TO NEW CONSTRUCTION.		
D11	DEMOLISH AND PREPARE FOR NEW OPENING. REFER TO NEW CONSTRUCTION.		
D12	EXISTING TO REMAIN		
D21	REMOVE EXISTING DOOR AND PREPARE OPENING FOR NEW DOOR. REFER TO NEW CONSTRUCTION.		
D22	REMOVE AND REPLACE EXISTING OVERHEAD DOOR. GC TO VERIFY EXISTING DIMENSIONS FOR NEW O.H. DOOR		
NIC	NOT IN CONTRACT		



6 DEMOLITION FLOOR PLAN - AREA D

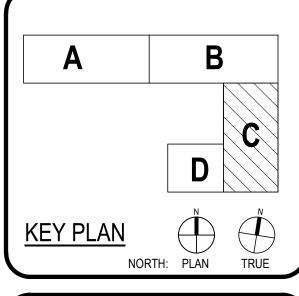
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MCALLEN 6316 North 10th Street, Suite 1 McAllen, TX 78504 956-687-1330 P 956-687-1331 F TX Firm: F-1608 MELDEN & HUNT, INC.

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CTE BUILDING RENC





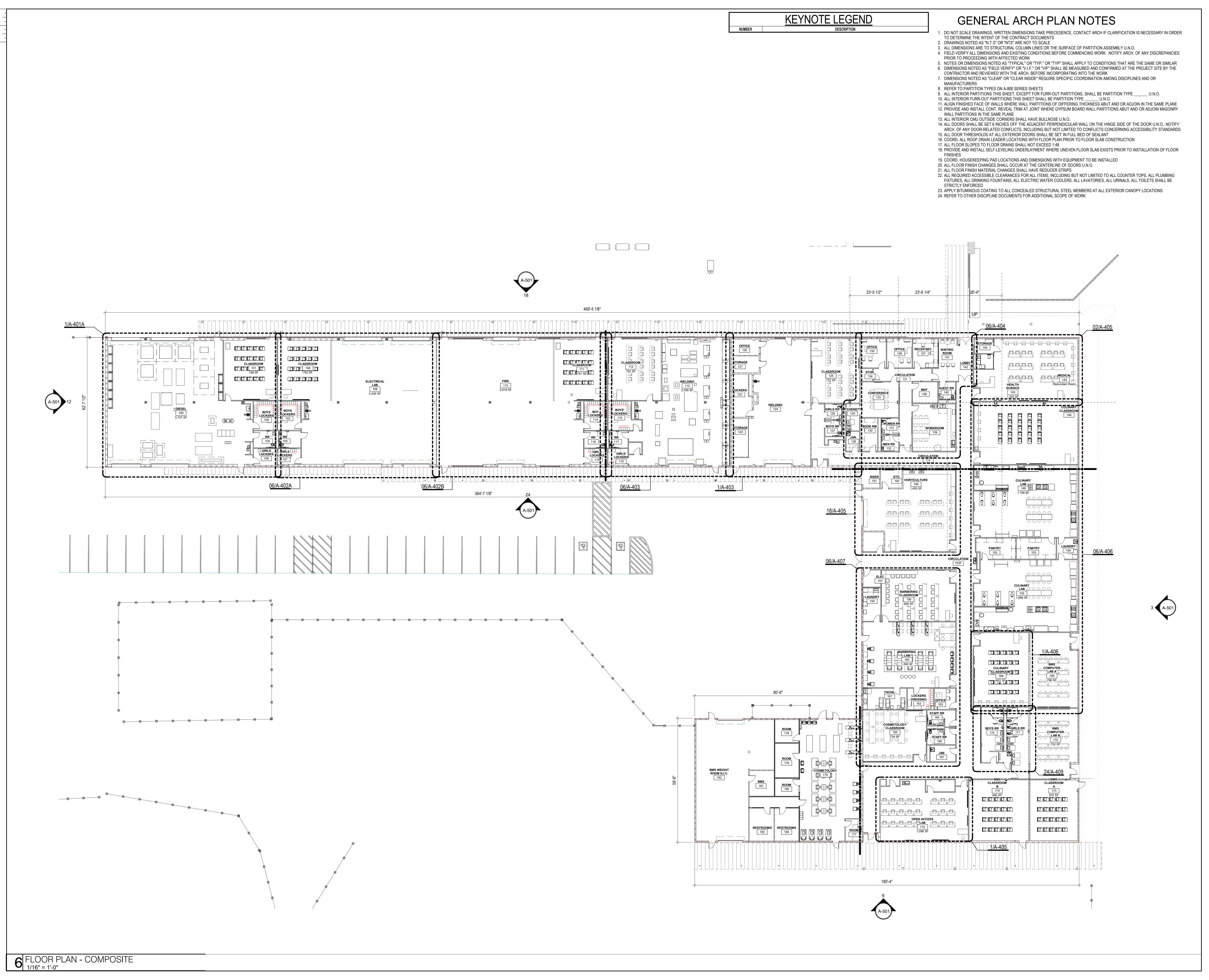
ECISD BARRIENTES 100% DESIGN DEVELOPMENT

ENLARGED DEMOLITION PLAN -AREA C & D

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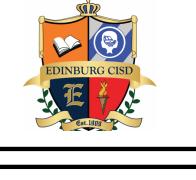
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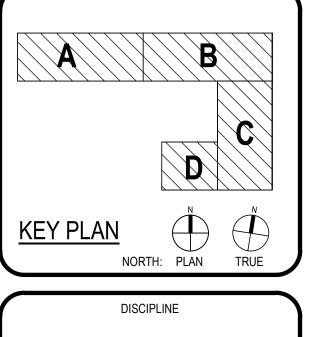
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D BARRIENTES
BUILDING RENOVATION

1100 E Ebony Ln,





ECISD BARRIENTES					
DATE			ROJECT NUMBER		
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DRAWING HISTORY					
No.	Descrip	Description			
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100 /0 DEGIGN DEVELOPMENT					
BU	ILDING NUMBER				

FLOOR PLAN - COMPOSITE

A-101